

156 East First Street New Richmond, WI 54017 Ph 715-246-4268 Fax 715-246-7129 www.newrichmondwi.gov

June 25, 2015

TO ALL PLAN COMMISSION MEMBERS:

Jane Hansen

Ron Volkert

Rachel Greenwold

David Wilford

Kyle Hinrichs

Fred Horne

MaryKay Rice

Sarah Skinner (ex officio)

This is to notify you that there is a Plan Commission meeting scheduled for Tuesday, June 30, 2015 at 5:00 p.m. in the Council Chambers of the Civic Center, 156 East First Street, City of New Richmond, WI.

AGENDA:

- 1. Roll Call
- 2. Adoption of Agenda
- 3. Approval of the Minutes of the Previous Meeting, April 9, 2015
- 4. Willow River Bluffs County Proposal
- 5. Public Hearing to consider the following:
 - a) Application for a Conditional Use Permit from St. Croix County to allow a nursing home in an area zoned Z-3 Multiuse/Corridor. Property is located at 1445 North Fourth Street and described as SEC 35 T31N R18W SE NW EXC PT TO CSM 7/2100 FORMERLY 577D T STAR PRAIRIE ANNEXED CITY NR #480541 EXP PT TO HWY AS IN 2521/543 (HWY PROJ 1559-08-24) PARCEL 22 FARM, EXC PT AS DESC IN 976142
 - b) Application for a Conditional Use Permit from New Richmond Utilities to allow a Solar Garden in an area zoned Z-7 Specific Use/Industrial District. Property is located on Madison Avenue just north of the well house and described as SEC 10 T30N R18W PT S1/2 BEING PT NE NW; BEING CSM 23-5519 LOT 4.
 - c) Text Amendments to Chapter 121 of the City Code Zoning Ordinance, copies of which are on file and available in the office of the City Clerk.
- 6. Action on Public Hearing Agenda
- 7. St. Croix County Health Center Storm Water Review
- 8. Communications and Miscellaneous
- 9. Adjournment

Fred Horne, Mayor

cc:

The News Nick Vivian Tom Rickard Northwest Cable Mike Demulling Dan Licht City Website Bob Meyer Jim VanderWyst Mark Samelstad **Nancy Petersen** JL Moore Jeff Berman **David Loehr Mary Curtis** Joel Hubmer **Kevin Broten David Ristau** Victoria Gaspord **Terry Magle** William Johnson **Kristeen Thomas Elizabeth Kinney Charles Munson Bass Lake Inc**

Beth Thompson
Lisa Buoen
Webber Properties
A & R Investment
Ryan Neville
Ernest Nelson
Duane Fitch
Advent Company
David Simantel
Ernest Nelson
Jeff Berman
Sheldon Johnson
Donald Anderson
Mary Simonds
Janice Thomas

Preferred Properties
Darren Olien
Aaron McDonald
Brian Sweeney
Sandra Flaherty
John Gillis
Catherine Smith
Dawn Clemens
John Troll
St. Croix County
Timothy Klein
Donald Breid

Steve Skinner

Cory Mulhollam

45th Parallel

A majority of the members of the New Richmond City Council may be present at the above meeting.

Pursuant to State ex rel. Badke v. Greendale Village Board, 173 Wis. 2d 553, 494 N.W. 2nd 408 (1993) such attendance may be considered a meeting of the City Council and must be noticed as such, although the Council will not take action at this meeting.

If you need a sign language interpreter or other special accommodations, please contact the City Clerk at 246-4268 or Telecommunications Device for the Deaf (TDD) at 243-0453 at least 48 hours prior to the meeting so arrangements can be made.



156 East First Street New Richmond, WI 54017 Ph 715-246-4268 Fax 715-246-7129 www.newrichmondwi.gov

TO: Plan Commission Members

FROM: Tanya Reigel, City Clerk

DATE: June 25, 2015

RE: Willow River Bluffs – County Proposal

Background

Mike and Beth met with the County Planner, County Board Chairman, and a County Park representative to discuss the Willow River Bluffs area. The County would like to create a park in that area that could include a walking trail, bike trail, canoe launch and park area near the Willow River. The City would like to keep the area closest to County Road A that has infrastructure installed as an executive housing development. Mike will explain more about this item at the meeting.



CONDITIONAL USE APPLICATION

City of New Richmond

156 East First Street ***** New Richmond, WI 54017 Phone: (715) 246-4268 ***** Fax: (715) 246-7129

CITY ORDINANCE SECTION 121-32 www.newrichmondwi.gov

APPLICATION FEE: \$250

ESCROW \$500

Application fee should be made payable to City of New Richmond upon submittal of completed application. Escrow funds will be drawn to cover project-related costs. Additional funds may be required; surplus funds will be returned.

Ρle	ease complete the applica	tion by typing or prir	nting in ink. Use additional paper if necessary.
1.	Property Owner Infor	mation:	
	Company name: St. Cr	oix County	
	Last name: Thompson		First name: Patrick
	Address: 1445 N. 4th	Street	City/State/Zip: New Richmond, WI 54017
			Email address: Patrick.Thompson@co.saint-croix.v
2.	Applicant Information	n: (if different from a	bove)
	Company name:		
	Last name:		First name:
	Address:		City/State/Zip:
	Phone number:		Email address:
3.	Address(es) of Proper	ty Involved: (if diffe	rent from above)
4.	Zoning Designation:	Z-3	
5.	Comprehensive Plan	Designation:	
6.	conditional use approv	al.	at will be done on or with the property requiring the
	The existing HHS buil	lding is being demolis	shed to accommodate a new 50-bed SNF & Town Center.
	The existing Health C	enter building will be	renovated into a 40-bed CBRF.

- 7. Additional Required Information: Please see attached letter
 - a. Legal Description and PIN: Provide the Parcel Identification Number(s) and the complete legal description(s) of the property involved.
 - **b.** Consultant Fees: Whenever third party consultants are utilized in the preparation of application materials (e.g., a traffic study) or the City's review of an application (e.g. traffic study analysis), the applicant shall be responsible for paying the entirety of those costs.
 - c. Proposed Plans: In addition to a scaled site plan, the following documentation may be requested: a landscape plan, grading and drainage plan, photometric plan, traffic study, and exterior building elevation drawings showing building materials may also be required if deemed necessary by City Staff. Plans for residential applications may be on 8½"x 11" or 11"x 17" paper; full size plans and digital copies must be submitted for commercial applications.
 - **d.** Written Narrative: The written narrative should thoroughly address the following general items in addition to any specific requirements pertaining to the proposed use, which Section 121-259 (Conditional Uses) of the City Code directs the City Council to evaluate during consideration of conditional use applications:
 - 1) The proposed use is not in conflict with the Comprehensive Plan;
 - 2) The proposed use is not in conflict with any Regulating Maps or other adopted plans;
 - 3) The proposed use is not in conflict with any City Ordinance requirements;
 - 4) The proposed use will not create an excessive burden on parks, streets and other public facilities; and
 - 5) The proposed use will not be injurious to the surrounding neighborhood, will not negatively impact traffic or property values, and will not otherwise harm the public health, safety, and general welfare.
- 8. Signature(s): By signing below, you attest that the information above and attached is true and correct to the best of your knowledge.

Property Owner: St. Croix County	Date:5.22.2015
Applicant: Patrick Thompson	Date:5.22.2015
Fee Paid: \$250 Date: 6/1/15 Rece	eipt # 61150
Escrow Paid: \$500 Date: 6/1/15 Receip	pt#61150

Applications for conditional use approval must be received by the first Thursday of each month; applications received after this date cannot be heard at the Planning Commission meeting the following month.



Planning Architecture Engineering Interior Design

Conditional Use Application Page 2 continued

7. Additional Required Information:

a. Legal Description and PIN: Provide the Parcel Identification Number(s) and the complete legal description(s) of the property involved.

Please refer to attached survey for legal description.

b. Consultant Fees: Whenever third party consultants are utilized in the preparation of application materials (e.g., a traffic study) or the City's review of an application (e.g. traffic study analysis), the applicant shall be responsible for paying the entirety of those costs.

No traffic study was requested or prepared as part of this submittal. Access to the site will be consistent with the existing traffic pattern.

c. Proposed Plans: In addition to a scaled site plan, the following documentation may be requested: a landscape plan, grading and drainage plan, photometric plan, traffic study, and exterior building elevation drawings showing building materials may also be required if deemed necessary by City Staff. Plans for residential applications may be on 8½"x 11" or 11"x 17" paper; full size plans and digital copies must be submitted for commercial applications.

All plans will be submitted per request.

- d. Written Narrative: The written narrative should thoroughly address the following general items in addition to any specific requirements pertaining to the proposed use, which Section 121-259 (Conditional Uses) of the City Code directs the City Council to evaluate during consideration of conditional use applications:
 - 1) The proposed use is not in conflict with the Comprehensive Plan;
 - 2) The proposed use is not in conflict with any Regulating Maps or other adopted plans;
 - 3) The proposed use is not in conflict with any City Ordinance requirements;
 - 4) The proposed use will not create an excessive burden on parks, streets and other public facilities; and
 - 5) The proposed use will not be injurious to the surrounding neighborhood, will not negatively impact traffic or property values, and will not otherwise harm the public health, safety, and general welfare.

The existing 1974 Health and Human Services building at 1445 4th Street N has been demolished to accommodate a new skilled care environment for 50 older adults, a new 10-bed dementia crisis stabilization unit, and a Town Center with many amenities to enhance the residents' quality of life. Within the Town Center will be a Therapy space that will be open to the community for occupational therapy services. These buildings are intended to be consistent with the household model, creating homes rather than institutions for seniors. The new buildings are one story and designed to look like farm cottages. The current Health Center building will be renovated into a Community Based Residential Facility with 40 apartments (8 one-bedroom and 32 studio apartments).

The proposed use is not in conflict with the Comprehensive Plan and will not be in conflict with any Regulating Maps. Per memorandum from Daniel Licht, dated April 23, 2015, Section 121-49.G.2 requires that non-residential uses buildings have 50% or less metal or fiberglass finish. The attached elevation diagram will document the amount of brick and non-brick siding at each façade of the project. Over all, the project has more than 50% brick and masonry for the exterior façade. The steel siding specified will meet the City Ordinance of 26 gauge steel. The proposed project will not create excessive burden on adjacent parks, streets or public facilities as it will be contained within the property lines. The proposed project will not be injurious to the surrounding neighborhood or impact their property values, harm public health, safety and general welfare.



City of New Richmond

156 East First Street & New Richmond, WI 54017 Phone: (715) 246-4268 & Fax: (715) 246-7129

CITY ORDINANCE SECTION 117 www.newrichmondwi.gov

TE PLAN/STORM WATER REVIE	W FEE: \$250	.00	ESCROW:	\$500.00
	\$200			
MENDED CERTIFIED SURVEY	FEE: \$200	.00	ESCROW:	\$500.00
will be drawn to cover project-related cos	sts. Additional funds may	be requ	uired; surplus j	funds will be returned.
ease complete the application by typing	g or printing in link.	JSC au	инонат рарс	of It necessary.
Company name: St. Croix County				
Last name: Thompson	First na	me: <u>P</u> a	trick	
Address: 1445 N. 4th Street	City/Sta	te/Zip:	New Richt	mond, WI 54017
Phone number: 715.386.4600	Email a	ddress.	Patrick.The	ompson@co.saint-croix.v
Applicant Information: (if different	from above)			
Company name:				
Last name:	First na	me:		
Phone number:				
	Email a	ddress		
Phone number:	Email a	ddress		
Phone number:Address(es) of Property Involved:	Email a	ddress ve)	:	
Phone number:Address(es) of Property Involved:	Email a	ddress ve)	:	
Phone number: Address(es) of Property Involved: Zoning Designation: Z-3 Statement of Intent: Briefly describ	Email a (if different from abo e what will be done	ddress.	vith the prop	perty:
Phone number: Address(es) of Property Involved: Zoning Designation: Z-3	Email a (if different from abo e what will be done	ddress.	vith the prop	perty:
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6. Additional Required Information:

- a. Legal Description and PIN: Provide the Parcel Identification Number(s) and the complete legal description(s) of the property involved.
- **b.** Consultant Fees: Whenever third party consultants are utilized in the preparation of application materials (e.g., a traffic study) or the City's review of an application (e.g., traffic study analysis), the applicant shall be responsible for paying the entirety of those costs.
- **c. Other Information:** In addition to a full size site plan and an 11" x 17" copy, topographic survey, landscape plan, grading and drainage plan, exterior building elevation drawings, and other information may also be required if deemed necessary by City Staff.
- 7. **Signature(s):** By signing below, you attest that the information above and attached is true and correct to the best of your knowledge.

Fee Paid: \$250	Date:	4/15/15	Receipt #	60892	
Applicant: Patrick Thompson			Date:	04.06.2015	
Property Owner: St. Croix Coun	ty		Date:	04.06.2015	

Submit

His/15 Beth sent email to the project manager regarding the need for Escrow. Stoked you \$1,500.00 as was approved by C. C. on 4/13/15.

Zoning change applications must be received by the first Thursday of each month; applications received after this date cannot be heard at the Planning Commission meeting the following month.



3601 Thurston Avenue N, Suite 100

3601 Thurston Ave Anoka, MN 55303 Phone: 762 00 Phone: 763.231.5840 Facsimile: 763.427.0520

MEMORANDUM

TO:

Beth Thompson

FROM:

Daniel Licht, AICP

DATE:

25 June 2015

RE:

New Richmond - St. Croix County Health Center

TPC FILE:

164.02

BACKGROUND

St. Croix County has submitted plans for expansion of the St. Croix Health Center located at 185th Street and County Road K. The Health and Human Services building that previously existed on the site has been demolished and a new senior housing facility for 60 residents, including 10 unit memory care facility is planned. The proposed use requires consideration of conditional use permits to allow a nursing home facility within the Z3 District and for more than one principal building upon a lot. A public hearing has been noticed for a special Plan Commission meeting on 30 June 2015 at 5:00 p.m. to consider the application.

Exhibits:

- Site Location Α.
- **Existing Conditions** B.
- **Demolition Plan** C.
- Site Plan (2 sheets) D.
- Landscape Plan (6 sheets) E.
- F. Photometric Lighting Plan
- Grading and Erosion Control Plan G.
- Utility Plan (3 sheets) Η.
- Building Elevations (7 sheets) 1.
- Building Floor plans (9 sheets) J.

ANALYSIS

Comprehensive Plan. The HWY 64/65 Comprehensive Land Use Plan guides the subject site for commercial land uses. The Comprehensive Plan includes policy statements regarding the provision of life cycle housing and availability of quality health care within the community. The proposed facility meets both of these objectives and is consistent with the Comprehensive Plan.

Zoning. The subject site is zoned Z3, Multi Use / Corridor District. Nursing home facilities such as the proposed use are allowed as a conditional use within the Z3 District. The subject site also includes several other buildings with county functions, as well as an existing senior apartment building that will be attached to the proposed facility. Multiple principal buildings are also allowed in the Z3 District as a conditional use. Consideration of the conditional use permit is to be based upon, but not limited to, the evaluation criteria outlined in Section 121-32 of the Zoning Ordinance.

Surrounding Uses. The subject site is surrounded by the following existing and planned uses outlined in the table below. The proposed use will be compatible with the surrounding land uses.

Direction	Land Use Plan	Zoning Map	Existing Use
North	ETZ	ETZ	Agriculture
East	Commercial Mixed Use	Z3 District	Agriculture
South	Medium Density Residential	Z3 District	Commercial Single Family
West	Commercial	Z3 District	Agriculture

Lot Requirements. The Z3 District establishes lot requirements including a minimum lot width of 80 feet and maximum lot coverage of 30 percent. The width of the subject site is 770 feet measured at the front setback line from 185th Street, which exceeds the requirements of the Zoning Ordinance. The site plan identifies the impervious surface area of the subject site with the proposed improvements as 16.2 percent, which complies with the lot coverage limits established by the Zoning Ordinance.

Setbacks. The Z3 District requires the setbacks applicable to the subject site as shown in the table below. The proposed and existing sections of the building exceed the respective setback requirements of the Z3 District.

	4 th Street	East	North	West
Required	25ft.	10ft.	35ft.	10ft.
Proposed	85ft.	130ft.	775ft.	290ft.

Access. Section 121-51.H of the Zoning Ordinance specifies that nursing home facilities are to be accessed via a minor arterial street or collector street with sufficient capacity to accommodate traffic generated by the proposed use. The proposed facility is to be accessed from County Road K/185th Street at two locations, which is a County

road and functions as a collector roadway parallel to HWY 64. County Road K/185th Street has sufficient capacity to accommodate traffic generated by the proposed use. The driveway aprons are 24 feet wide as allowed by Section 121-52.A.1.c of the Zoning Ordinance. The driveways are also 210 feet apart so as not to cause conflicts with traffic on County Road K/185th Street from turning movements. A temporary access to the St. Croix Industries building on the subject site will be provided during construction. The developer will be required to remove this driveway and restore the yard and boulevard areas after construction of an internal access from the proposed permanent driveway is completed.

Off-Street Parking. Table 14 of the Zoning Ordinance does not include a requirement for off-street parking for senior housing type uses. Section 121-52.A.7 of the Zoning Ordinance states that where the Zoning Ordinance does not specify a parking requirement for a given use, sources such as the Institute of Transportation Engineers (ITE) is to be used to evaluate the off-street parking. ITE's 3rd Edition Parking Generation Manual outlines off-street parking recommendations for assisted and memory care senior housing uses of 0.36 stalls per dwelling unit. Based on the 60 units within the proposed facility and 40 apartments within renovated health center building, 36 off-street parking stalls are required. The site plan indicates that 173 parking stalls are provided within the subject site, which exceeds the requirements of the Zoning Ordinance. Section 121-52.A.3 of the Zoning Ordinance specifies that not more than 50 percent of the off-street parking stalls may be between the principal building and public street unless additional landscaping is provided. The site plan illustrates 56 parking stalls to the south of the principal building in the yard adjacent to County Road K/185th Street, which is less than 50 percent of the off-street parking The parking stalls are designed with dimensions of 9 feet by 18 feet, bituminous pavement and perimeter concrete curb as required by Section 121-52.A.5 of the Zoning Ordinance.

Building Elevations. The proposed building has an attractive exterior consisting of brick material and red set siding with white trim and pitched roof sections. Section 121-49.G.2 of the Zoning Ordinance requires brick or masonry material be used for 50 percent of the surface of any building wall unless exempted by conditional use permit. The submitted plans indicate that the exterior materials for the proposed building comply with this requirement. Steel siding used for the balance of the exterior elevation is 26 gauge steel, which complies with the Zoning Ordinance.

Landscape Plan. The developer has submitted a landscape plan illustrating protection of existing plantings within the subject site and installation of new plantings with the proposed improvements. Table 15 of the Zoning Ordinance requires one shade tree per 5,000 square feet of building area and one evergreen shrub per 1,000 square feet of building area in the front yard. The plantings proposed south of the proposed building within the front yard comply with this requirement. Within the rear yard, Table 15 requires one shade tree per 40 lineal feet of lot width or 20 trees for the subject site and the existing and proposed plantings north of the building comply with this requirement. The planting types and sizes comply with the requirements of the Zoning Ordinance. Section 121-55.I.2 of the Zoning Ordinance requires the developer to provide a financial

guarantee that the landscaping shown on the landscape plan will be installed and survives for two winter seasons.

Exterior Lighting. The developer has submitted a photometric lighting plan and detail sheets for exterior lighting to be included with the proposed facility. Section 121-51 of the Zoning Ordinance limits all exterior light fixtures to a height of 35 feet and requires a shoebox design with horizontal cut-off to minimize glare cast towards adjacent properties or public streets. All of the proposed light fixtures comply with the limits established by the Zoning Ordinance. The intensity of the light cast at the property line may not exceed one foot-candle. The developer has submitted a photometric lighting plan illustrating the illumination pattern of the proposed site lighting and light cast at all property line complies with the limits of the Zoning Ordinance.

Signs. The developer has submitted a plan for a freestanding sign for the subject site as a separate sign permit application. All signs are subject to the requirements of Section 121-44 of the Zoning Ordinance and require a permit to be issued prior to construction.

Utility Plan. The developer has submitted a utility plan for the subject site illustrating all existing and proposed utility installations. Electric service to the subject site is provided by Xcel Energy and must be coordinated by the developer with Xcel Energy. The utility plan is subject to review and approval of the Public Works Director. The existing sewer service to the property extends outside of the subject site through privately owned property before connecting with the City's trunk sewer main. The developer is required to provide documentation of easements overlying the sewer service line and the area needed to access the service line for maintenance. Additional issues:

- The site plan is to be revised to provide paved access to the City's existing utility vault west of the existing west driveway, subject to approval of the Public Works Director.
- The utility plan notes shall specify that all existing watermain that is to be reinstalled must be pressure tested.
- City staff recommends the developer prepare a plan for continuation of water service to the existing building during construction.
- The proposed stormsewer draining from the proposed courtyards will likely experience freezing issues due to shallow depth.
- As built plans for the utility improvements must be submitted upon completion of construction.
- On Sheet C500, Plate 14 must be revised to change the label for the slope from 2" to 2%.

The City has, in the past, provided maintenance for the water and utility services within the subject site, which would be the responsibility of the property owner. An agreement drafted by the City Attorney and approved by the Utility Commission will be required for such maintenance services in the future to address liability issues and assign cost responsibilities. This agreement is a matter separate from the development applications considered in accordance with the development proposal and does not require review and approval of the Plan Commission.

Grading Plan. The developer has submitted a grading and erosion control plan for the subject site. The grading and erosion control plan has been reviewed by the City's engineering consultant and approved by the Public Works Director.

Cemetery. The City has identified that St. Croix County divided an adjacent parcel to the north of the subject site creating two parcels, one of which is a cemetery owned by St. Croix County. The parcel that was divided is within one and one-half miles of the City boundary and is subject to Extra Territorial Zoning, which would have required attachment of the parcels to the City for the land division to occur. No application for the required annexation and City approval of the land division was submitted, processed and approved by the City prior to the land division being recorded and the ownership of one of the resulting parcels transferred and the parcels were not annexed to the City. City staff has been asked to review if the City can address the land division issue as part of the consideration of the conditional use permit for the subject site.

The conditions imposed in approving a conditional use permit must be rationally related to the zoning ordinance that restricts the conditional use. Accordingly, the City must determine if requiring the County attach the cemetery parcel to the City is rationally related to the conditional use permit application for the St. Croix County Health Center. According to the City Attorney, the case law is sparse on this issue, and provides little guidance. However, based on those cases that have been decided which require a rational relationship between the proposed use and the zoning ordinance, it is difficult to identify a theory which provides an appropriate basis for requiring the County to attach the unrelated cemetery parcel based on the County's proposed use of its property as a Health Center.

In order to justify such condition, the City would be required to identify a connection between the condition and one of the Evaluation Criteria contained within Section 121-32 F. of the Zoning Code. Some connection must also be identified with respect to the unrelated cemetery parcel. Here the City is contemplating imposing a condition related to a separate non-adjacent property, and the condition is not upon the conditional use proposed in the conditional use permit application —the expansion of the Health Center. Based upon the City Attorney's reading of the City's Zoning Code, applicable statutes and the relevant case law, he does not interpret the contemplated condition to be a permissible condition/restriction and recommend the City address the County's failure to attach the cemetery parcel through a process outside of the application of the St. Croix County Health Center application.

RECOMMENDATION

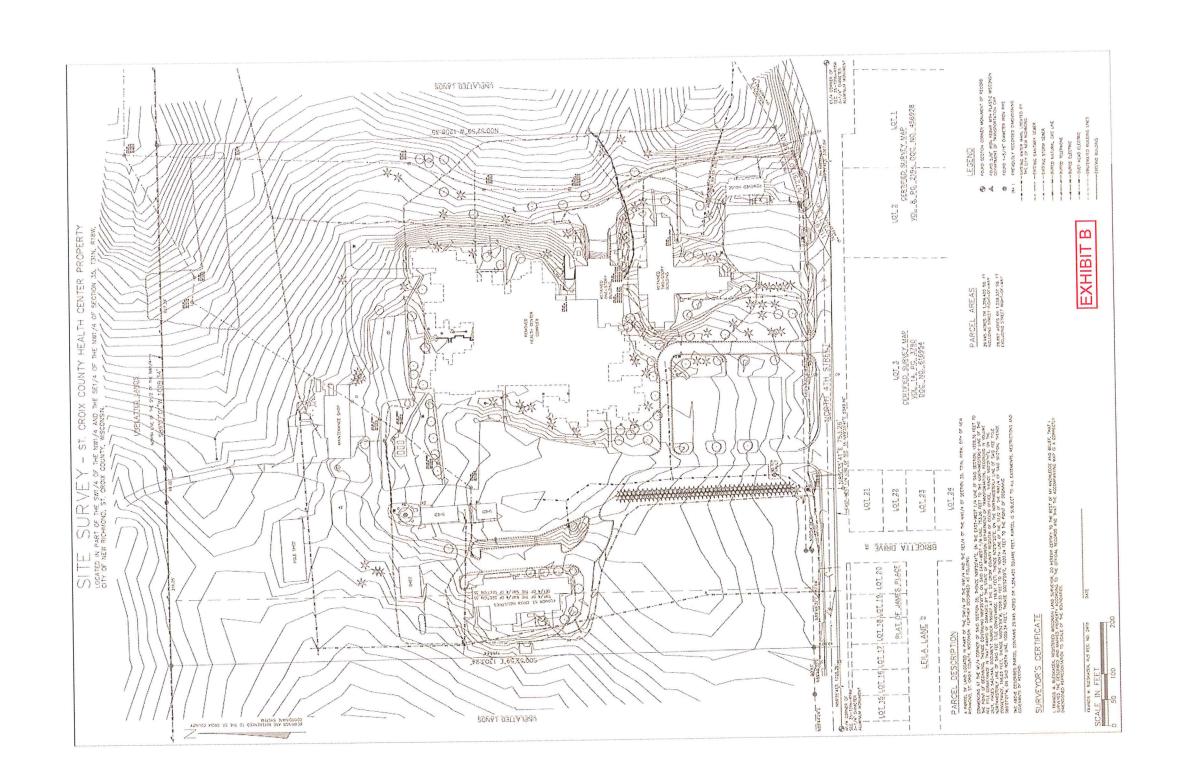
The Design Review Committee reviewed the application at their meeting on 25 June 2015. City staff recommends approval of the application subject to the stipulations outlined below.

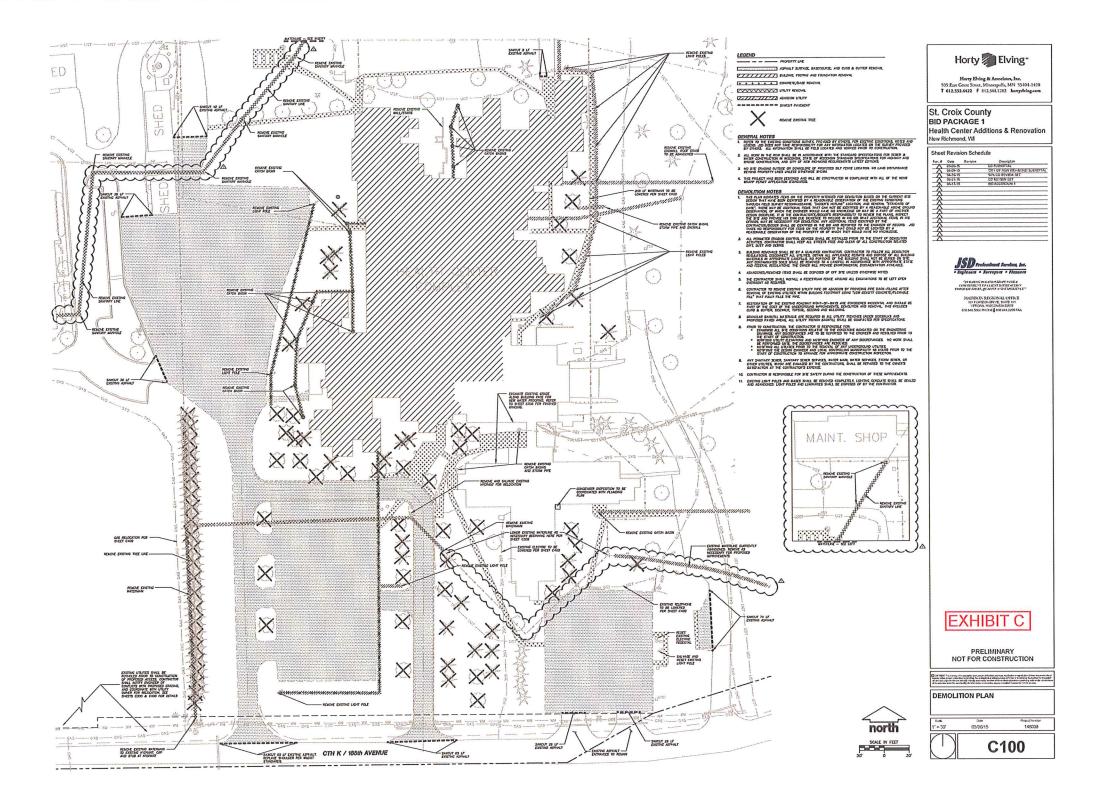
Possible Actions

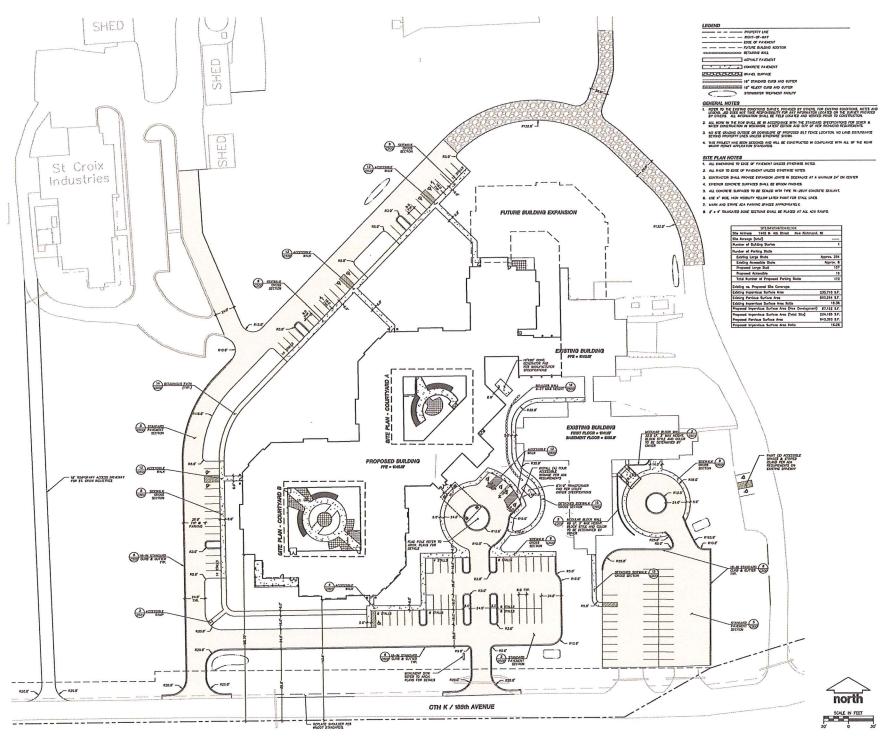
- A. Motion to **approve** a conditional use permit for St. Croix County Health Center, subject to the following conditions:
 - 1. The temporary access to the St. Croix Industries shall be removed and the yard and boulevard restored upon completion of the proposed permanent driveways shown on the site plan.
 - 2. Electric service to the subject site is provided by Xcel Energy and must be coordinated by the developer with Xcel Energy.
 - 3. All utility issues are subject to review and approval of the Public Works Director, including the following:
 - a. The site plan is to be revised to provide paved access to the City's existing utility vault west of the existing west driveway, subject to approval of the Public Works Director.
 - b. The utility plan notes shall specify that all existing watermain that is to be reinstalled must be pressure tested.
 - c. On Sheet C500, Plate 14 must be revised to change the label for the slope from 2" to 2%.
 - d. As built plans for the utility improvements must be submitted upon completion of construction.
 - 4. The developer shall provide a financial guarantee that the landscaping shown on the landscape plan will be installed and survives for two winter seasons as required by Section 121-55.I.2 of the Zoning Ordinance.
 - 5. The developer shall provide documentation of easements overlying the private sewer service line and the area needed to access the service line for maintenance outside of the subject site and/or public right-of-way.
 - 6. All grading, drainage and erosion control issues are subject to review and approval of the Public Works Director.

- B. Motion to **deny** the application based on a finding that the request is inconsistent with the policies of the Comprehensive Plan and requirements of the Zoning Ordinance.
- C. Motion to **table** for additional information and/or further discussion.
- c. Mike Darrow, City Administrator
 Jeremiah Wendt, Public Works Director
 Sarah Skinner, Building Inspector
 Tanya Reigel, City Clerk
 Nick Vivan, City Attorney











Horry Elving & Associates, Inc. 505 East Grant Street, Minocapolia, MN 55604-1450 T 6123324422 F 612344.1252 horryslving.com

St. Croix County BID PACKAGE 1

Health Center Additions & Renovation New Richmond, WI

Rav. # Date	Revision	Description
A 63-05-11		CO SUSATTIAL
A 04-08-7	3	CITY OF NEW FID-WIDNE SUBMITTA
A 04-14-1	5	50% CO FEVIEW SET
V 02711		CO REVEW SET
A 05.17.1	5	SID ACCRECATE I
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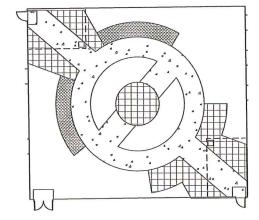
COUNTIES TO CLESS SATISFACION TRENCH TELST, COMMINAND EXPLRIC

> MADISON REGIONAL OFFICE 1611 ICHZON DRIVE, BLITE 161 VERDIA WISCONEN SISTO 102 144 5500 PICTO E FROM 2225 FAX

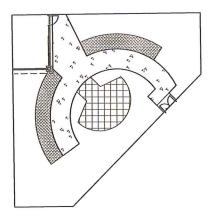


PRELIMINARY NOT FOR CONSTRUCTION

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SITE PL	AN	
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SITE PLAN - COURTYARD A



SITE PLAN - COURTYARD B

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- OENERAL NOTES

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- HO S'E CHADIC DITIES OF DOMESTIFE OF PROPOSED SET FINE LOCATOR NO LAND DETUREANCE SEYOND PROPERTY LIES LIFELDS OF CHIEF SHOWS.
- 4. THIS PROJECT HAS BEEN CESTORED AND WILL BE CONSTRUCTED IN COMPLIANCE WITH ALL OF THE NORM WARP PERMIT APPLICATION STANDARDS.

- SITE FLAN NOTES

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Harty Elving & Associates, Inc. 505 East Gram Street, Minneapolis, MN 55404-1490 T 612-332-4422 F 612-544-1282 hortyching.com

St. Croix County BID PACKAGE 1

Health Center Additions & Renovation New Richmond, WI

Ser. #	Date	Revision	Description
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Δ	04-08-15		CITY OF NEW RECHMOND SUBMITTA
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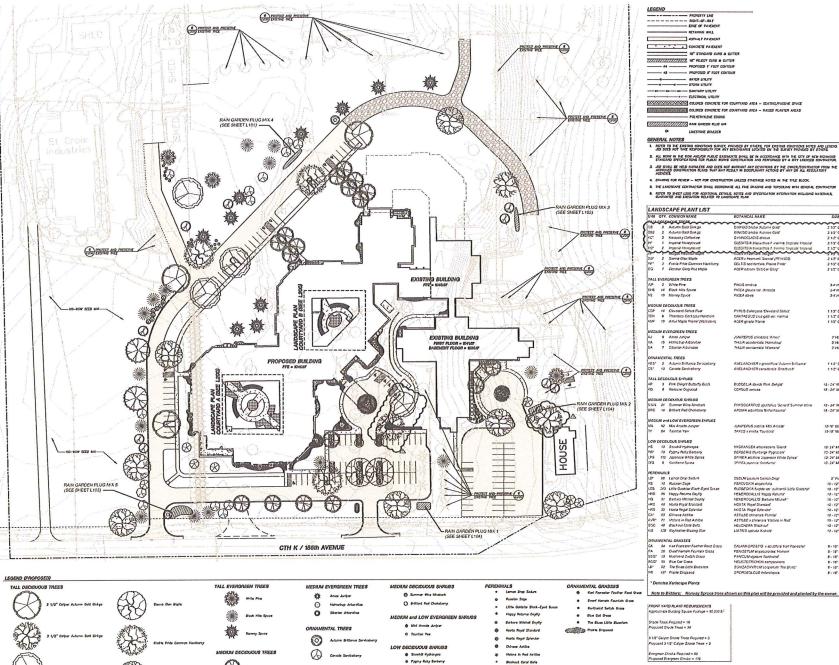


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SITE PLAN - COURTYARD DESIGN

Project Number 145038 C201



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- 4. DILARMS FOR FEVER NOT FOR CONSTRUCTOR LINEESS CHERKISE NOTED IN THE TILE BLOCK
- S. THE LANDSCAPE CONTRACTOR SHILL COORDINATE ALL FINE GRADING AND TOPSCAME HTM EDICIAL CONTRACTOR

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FDF	and t	•			
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cs		Little Gootstar Elect-Eyed Schan	RUCBEOGA furjida var sultivertil Little Gozotter	10-12-16	# f Cort
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		Blackout Comi Buts	HELICHERA Black out	10-12 HE	# 1 Cont
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EXHIBIT E

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LANDSCAPE PLAN OVERVIEW

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St. Croix County

Sheet Revision Schedule

Health Center Additions & Renovation

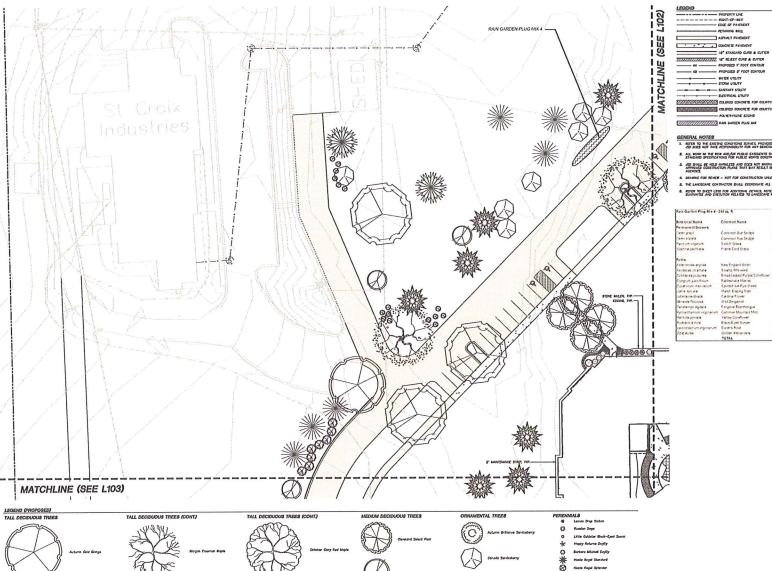
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BID PACKAGE 1

New Richmond, WI

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TALL EVERGREEN TREES





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Horry Being & Associates, Inc.
505 East Georg Series, Manuspola, MN 55854-1490
T 6123324422 F 612344-1292 horryching.com

St. Croix County BID PACKAGE 1

Health Center Additions & Renovation New Richmond, WI

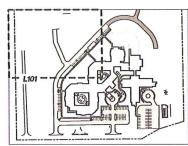
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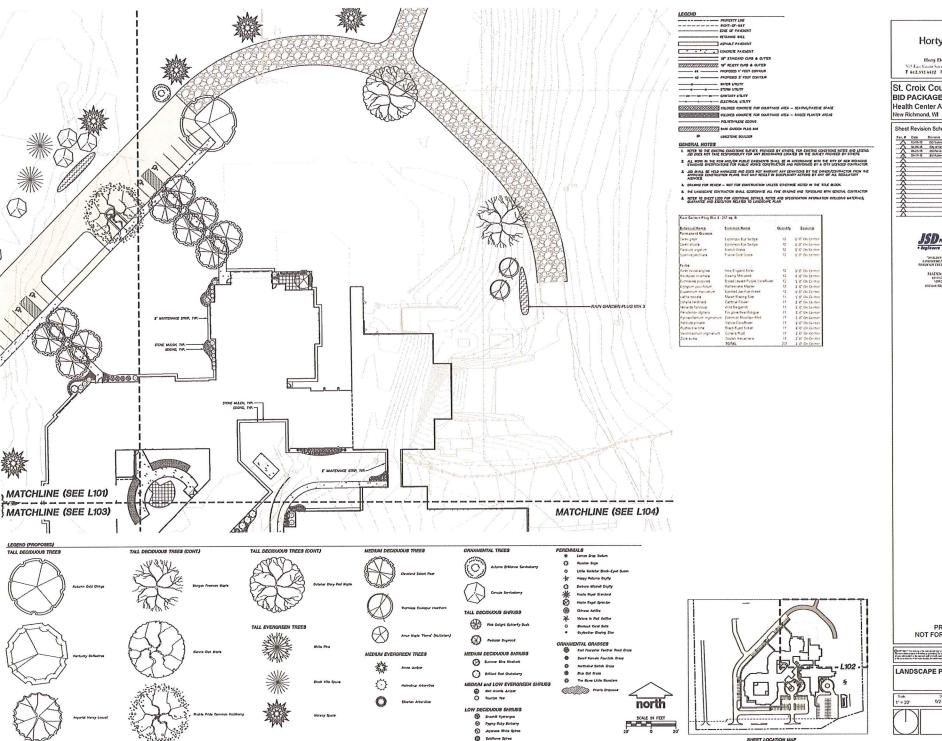
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LANDSCAPE PLAN 5/21/15 1"= 20"

L101



SHEET LOCATION MAP





Horry Heling & Associates, Inc. 505 East Great Savet, Mantapola, MN 55404-1490 T 6123524612 F 642354322 horryching.com

St. Croix County BID PACKAGE 1 Health Center Additions & Renovation

Sheet Revision Schedule



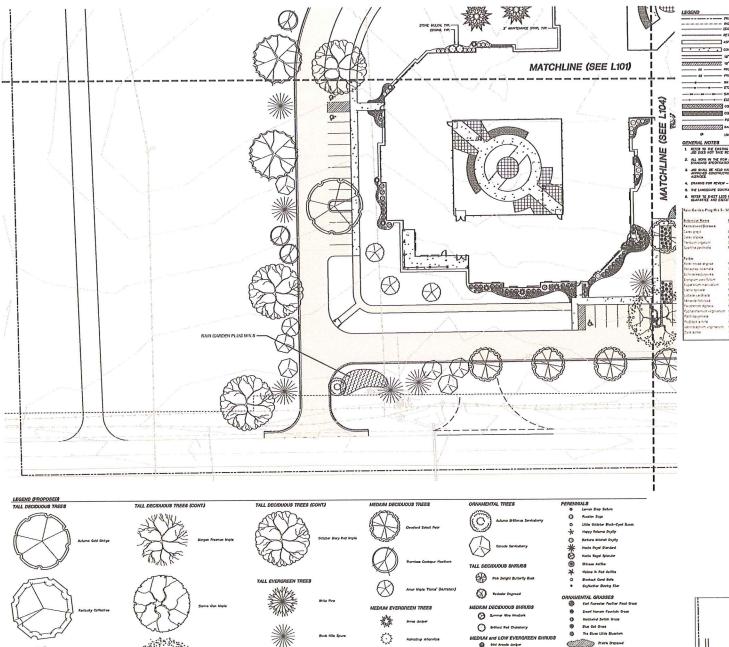
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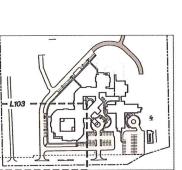
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Horry Being & Associates, Inc. 5/5 East Gran Street, Manusapola, MN 55454-1495 T-6123524422 F-6123443252 horryching.com

St. Croix County **BID PACKAGE 1**

Health Center Additions & Renovation New Richmond, WI

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MADISON REGIONAL OFFICE
1611 CHEON DRIVE, SLITE 151
VERONA WISCONSN SISSE
ECGLISSON PICTE | 602 LOS 2225 FAX

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LANDSCAPE PLAN

1" = 20" Republication 146038 5/21/15 L103

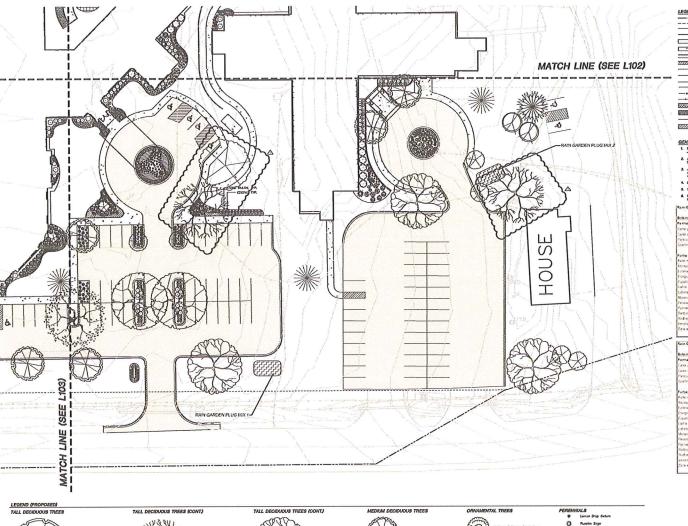


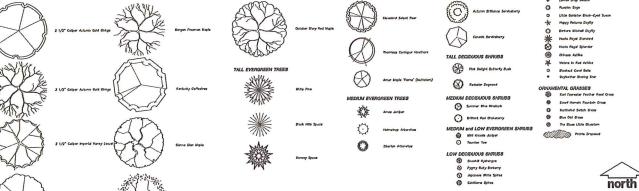
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- 8. RETER TO SPEET LISTS FOR ACCITIONAL DETAILS, ROTES AND SPECIFICATION INTORNATION INCLINING MATERIALS, QUARANTEL AND EXECUTION RELATED TO LINCOCKAPE PLAN

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Horry Elving & Associates, Inc. 505 Ent Grant Street, Minorapolia, MN 55404-1450 T 612-332-4422 F 612-344-1252 horryslving.com

St. Croix County BID PACKAGE 1

Health Center Additions & Renovation New Richmond, WI

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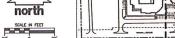


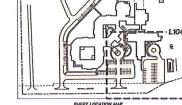
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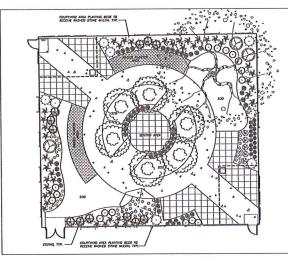
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LANDSCAPE PLAN

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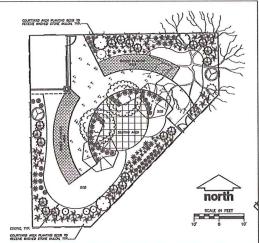






LANDSCAPE PLAN - COURTYARD A

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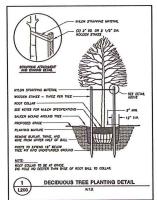
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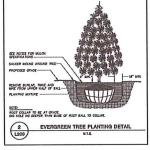
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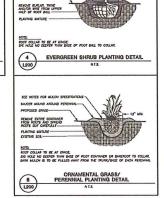
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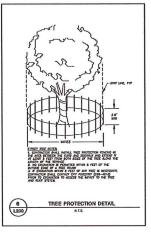








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Horry Bring & Associates, Inc. 565 Eur. Grant Serve, Minerapolic, MN 53404-1490 T 6123324422 F 612344-1342 horrysbringens

St. Croix County **BID PACKAGE 1** Health Center Additions & Renovation

New Richmond, WI Sheet Revision Schedule



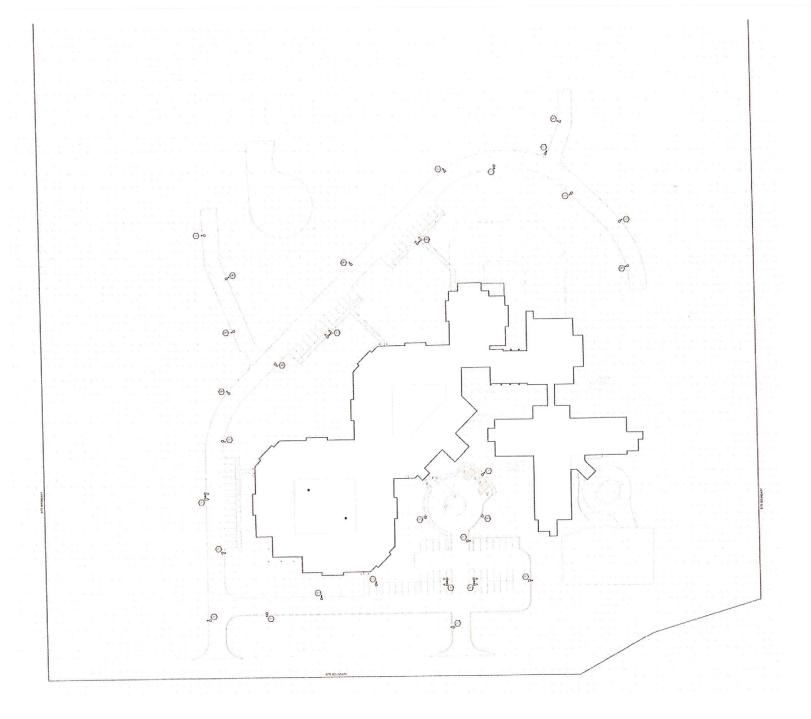
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St. Croix County
BID PACKAGE 2
Health Center Additions & Reno

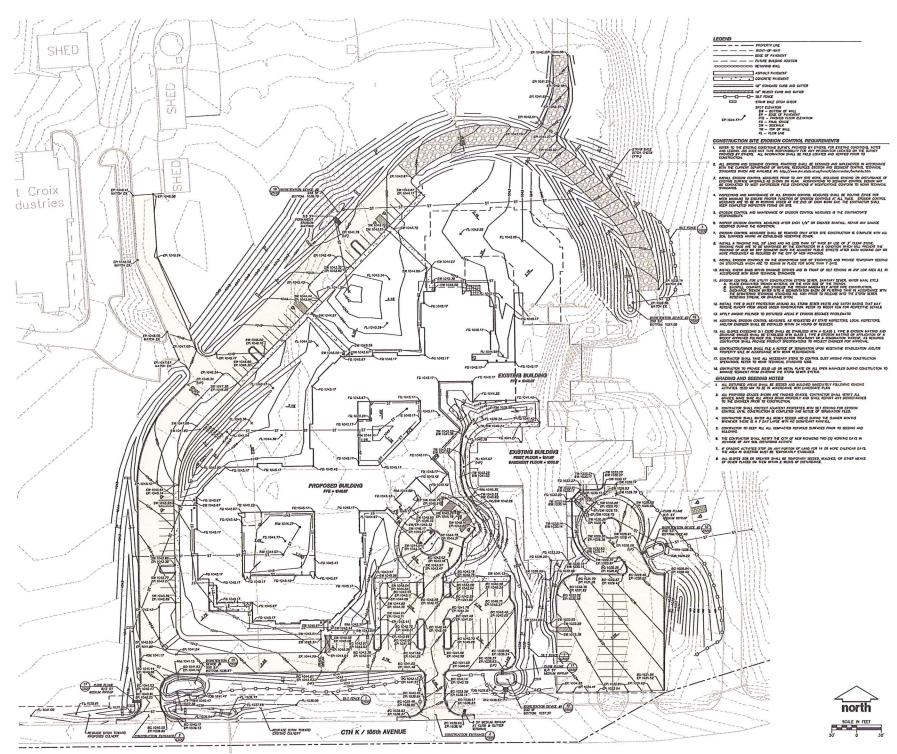
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SITE LIGHTING PLAN

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St. Croix County **BID PACKAGE 1**

Health Center Additions & Renovation New Richmond, WI

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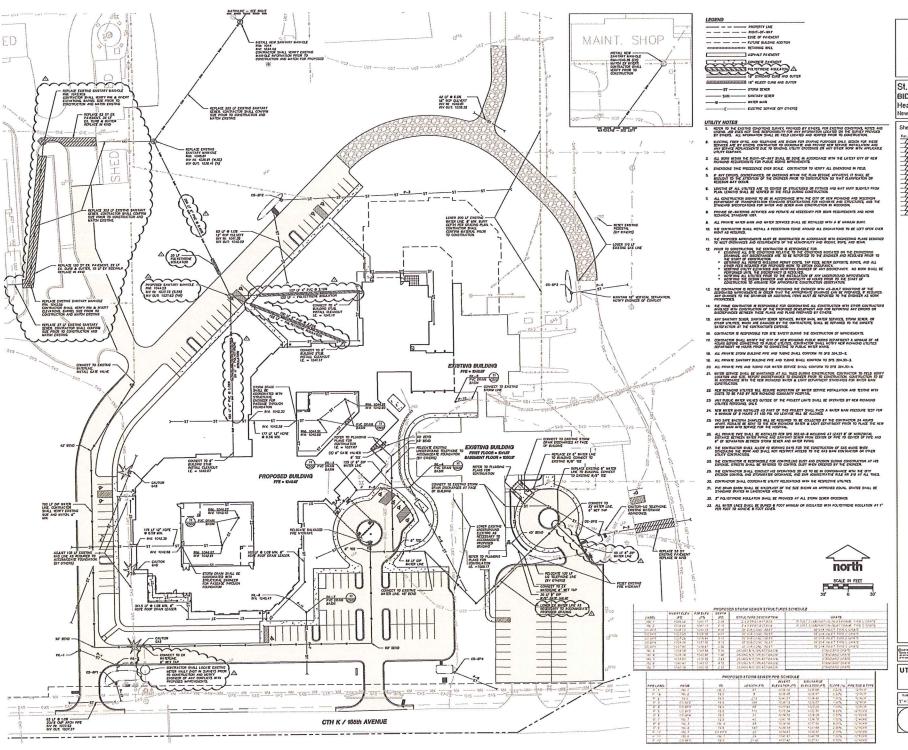


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GRADING AND EROSION CONTROL PLAN

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St. Croix County BID PACKAGE 1

Health Center Additions & Renovation New Richmond, WI

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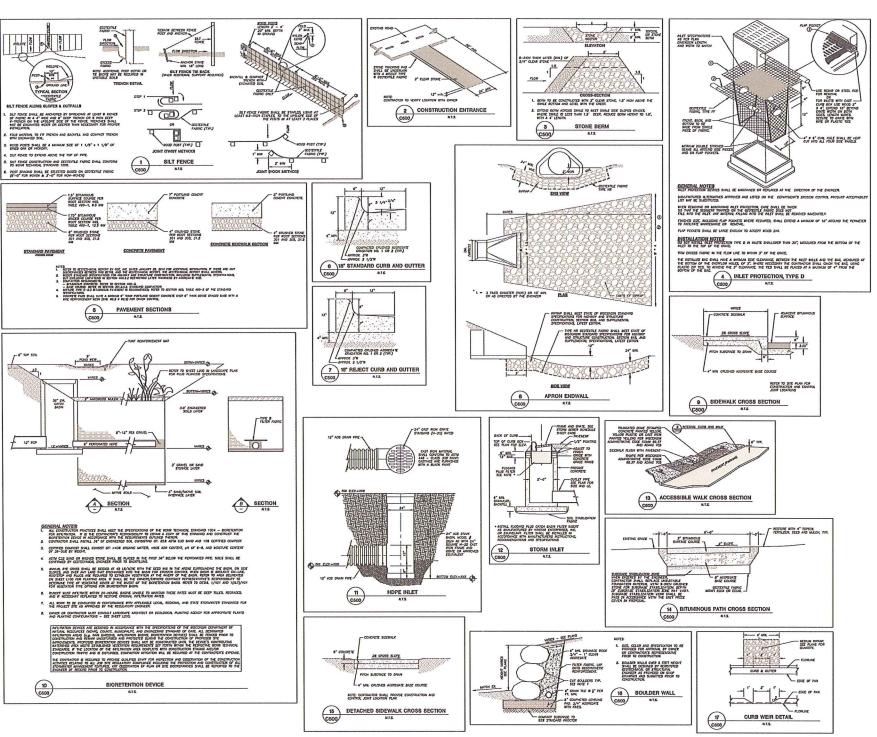
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St. Croix County BID PACKAGE 1

Health Center Additions & Renovation



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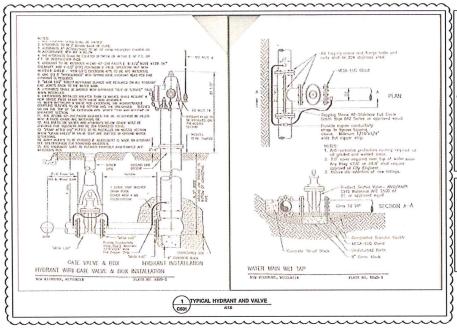
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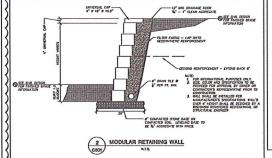
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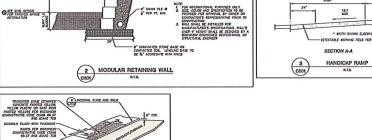
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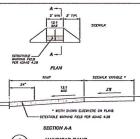
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St. Croix County **BID PACKAGE 1** Health Center Additions & Renovation New Richmond, WI

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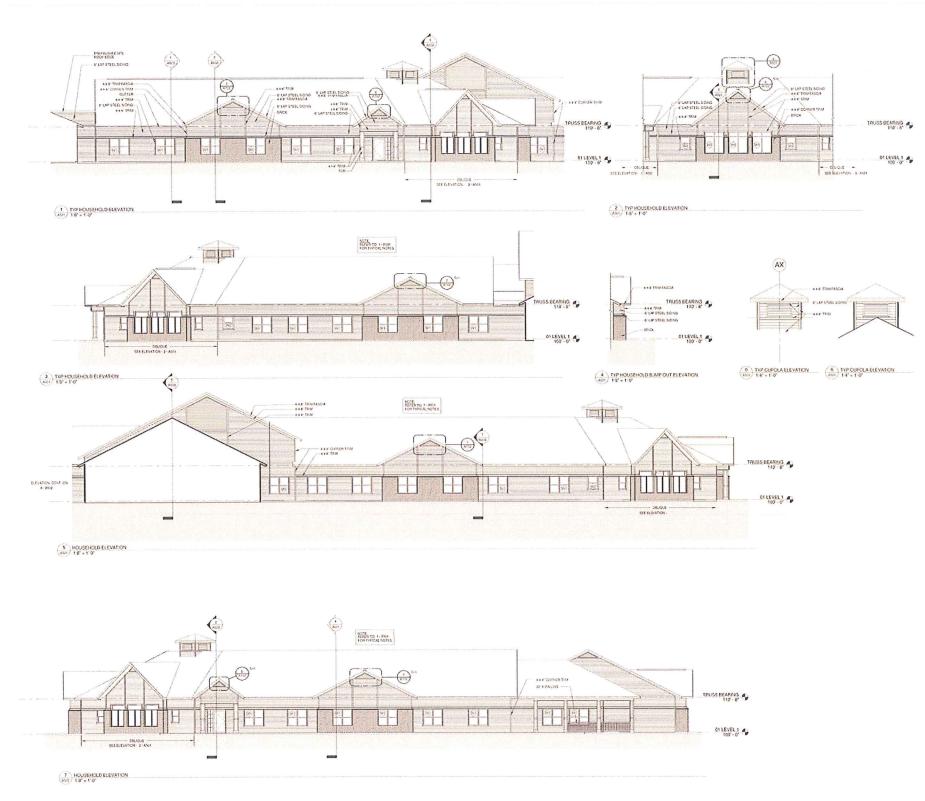
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St. Croix County BID PACKAGE 2

Health Center Additions & Renovation New Richmond, WI

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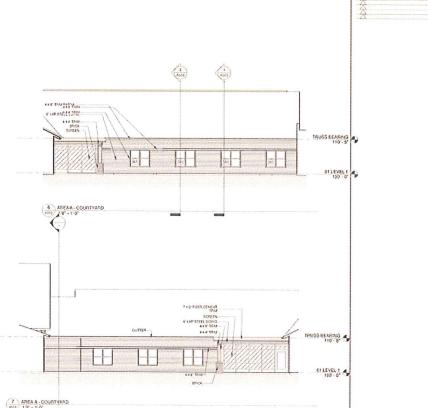
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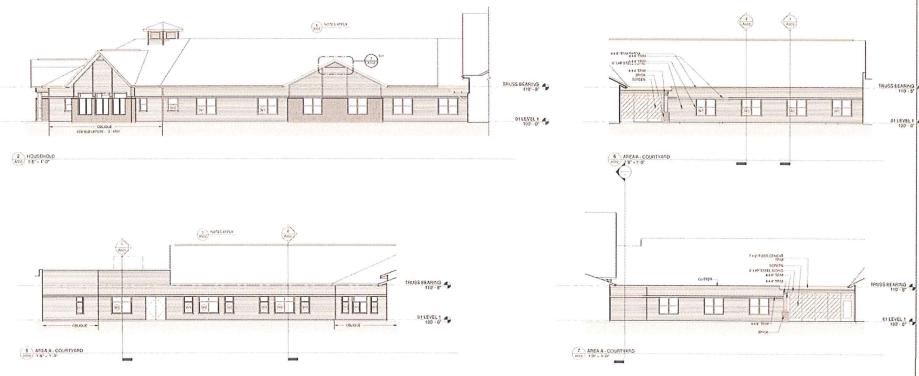
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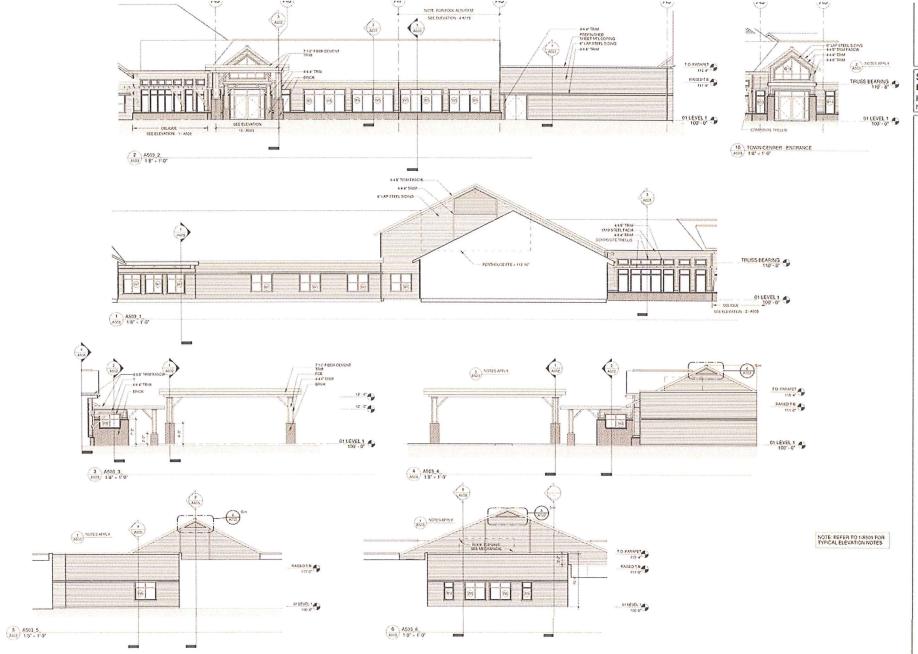
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Health Center Additions & Renovation New Richmond, WI

St. Croix County BID PACKAGE 2

Sheet Revision Schedule

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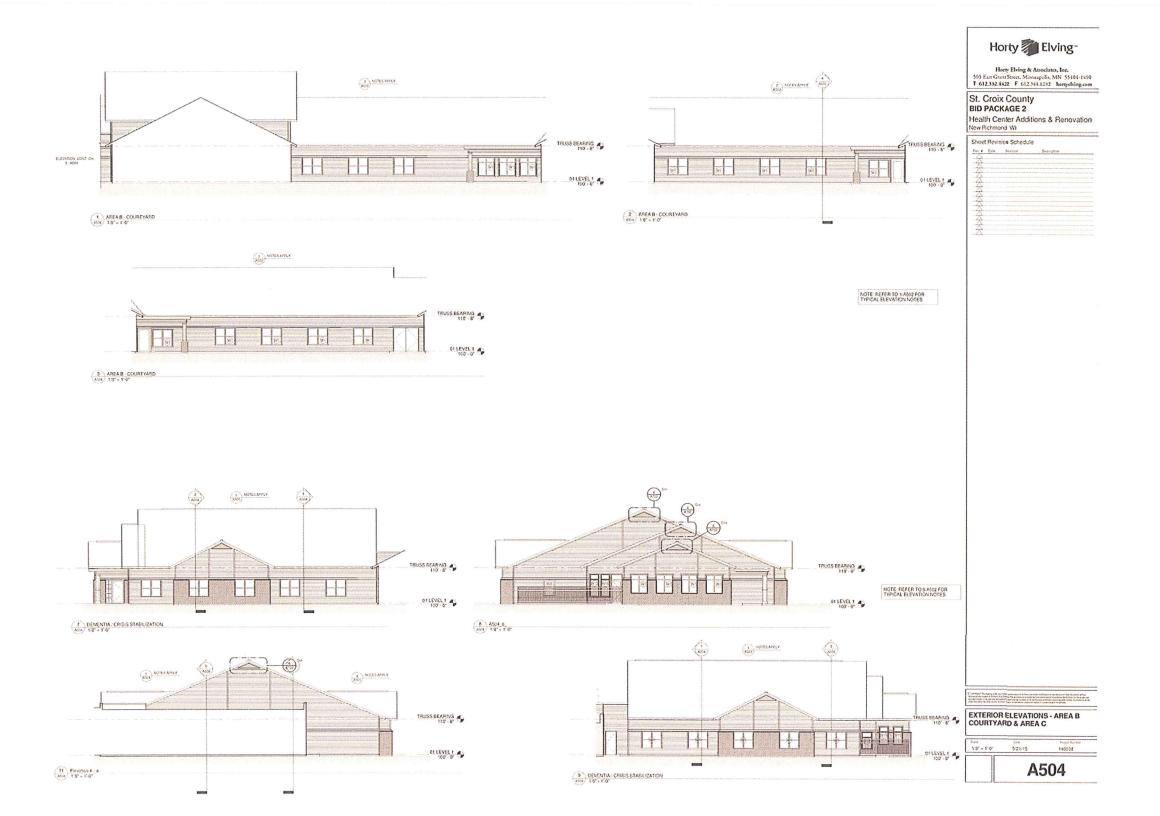
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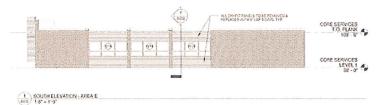
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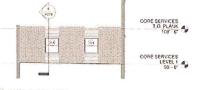
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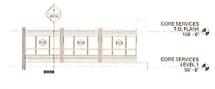
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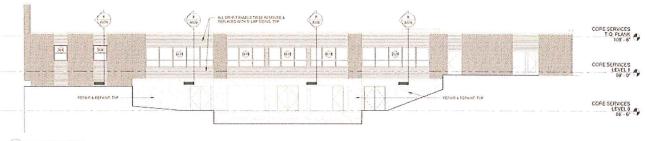












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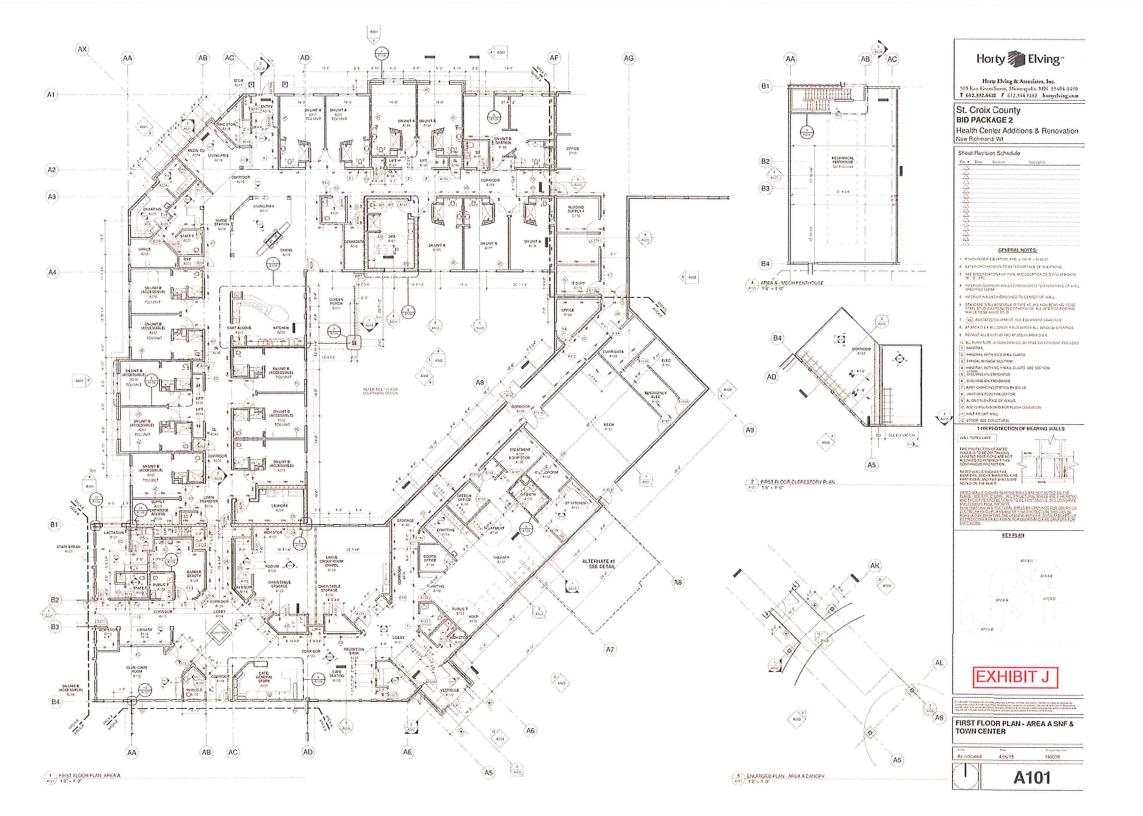
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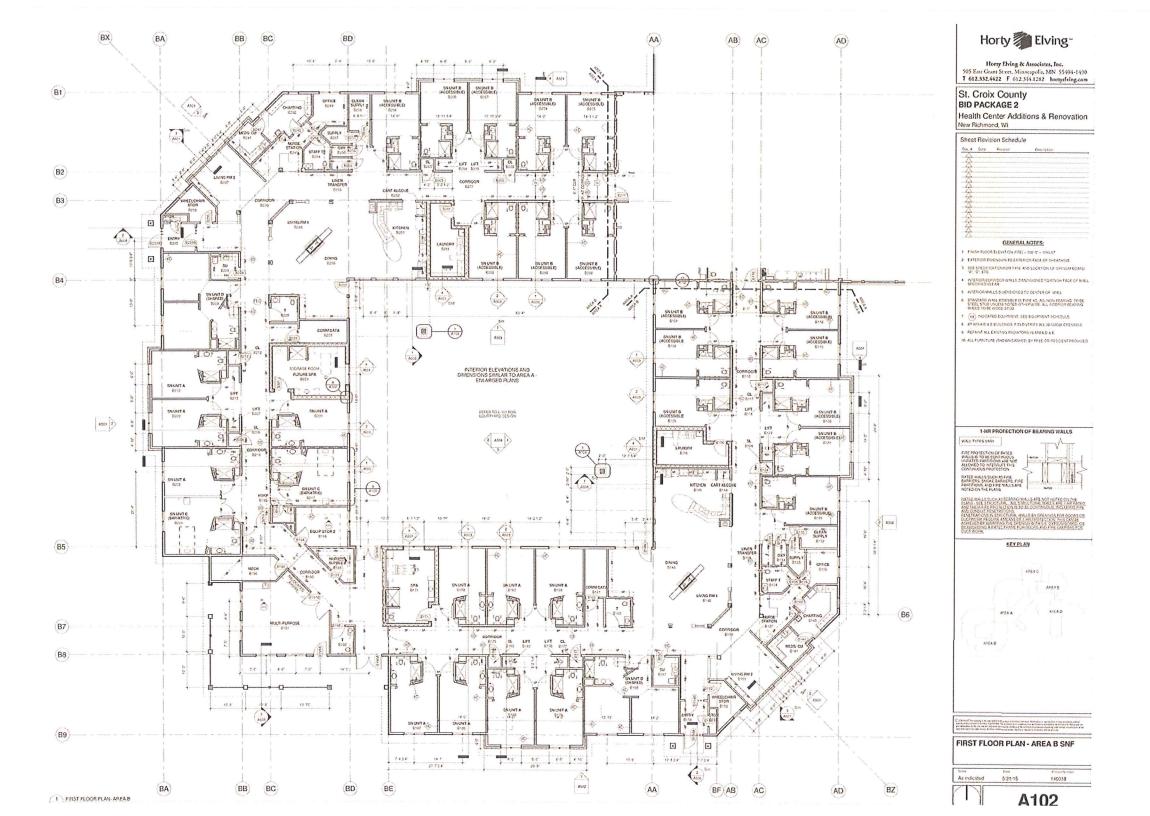
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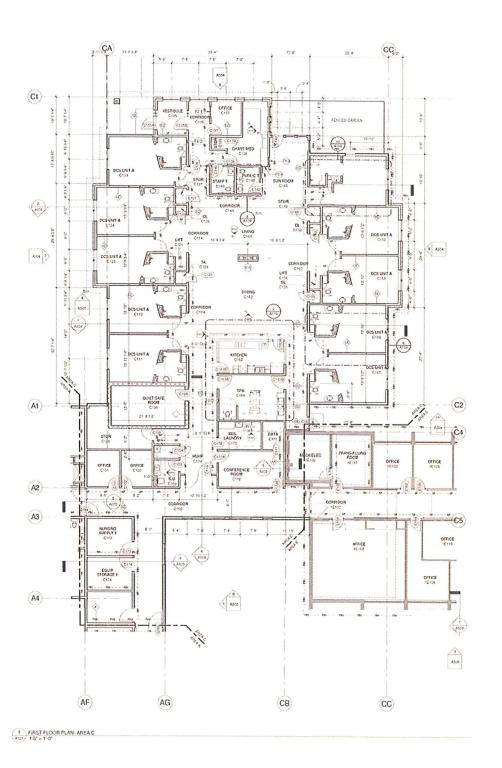
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St. Croix County BID PACKAGE 2

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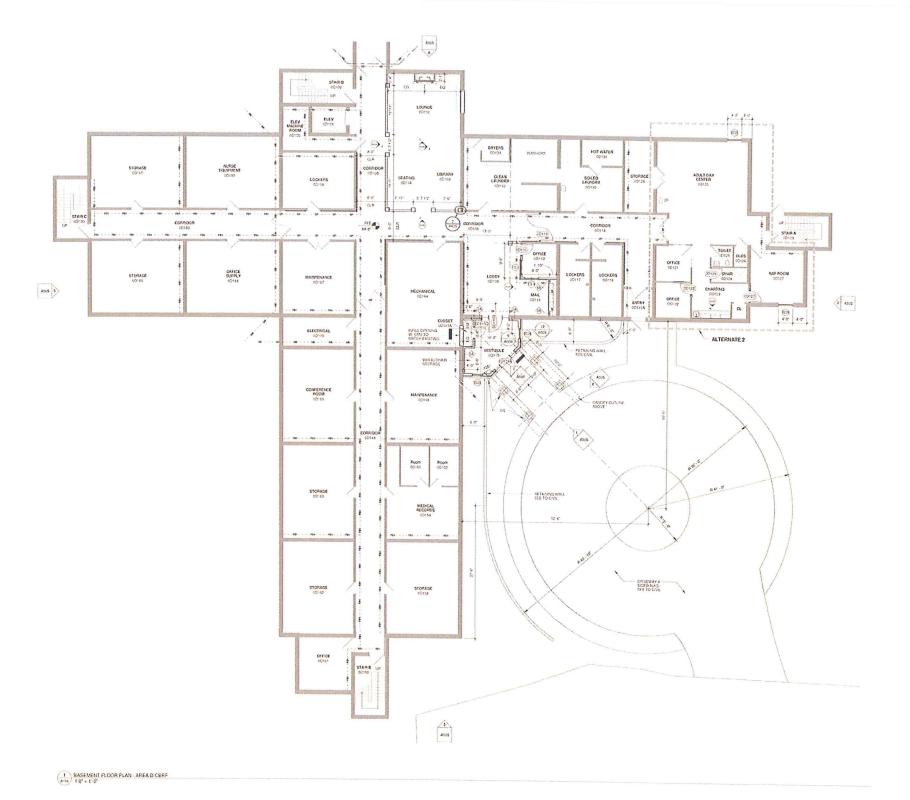




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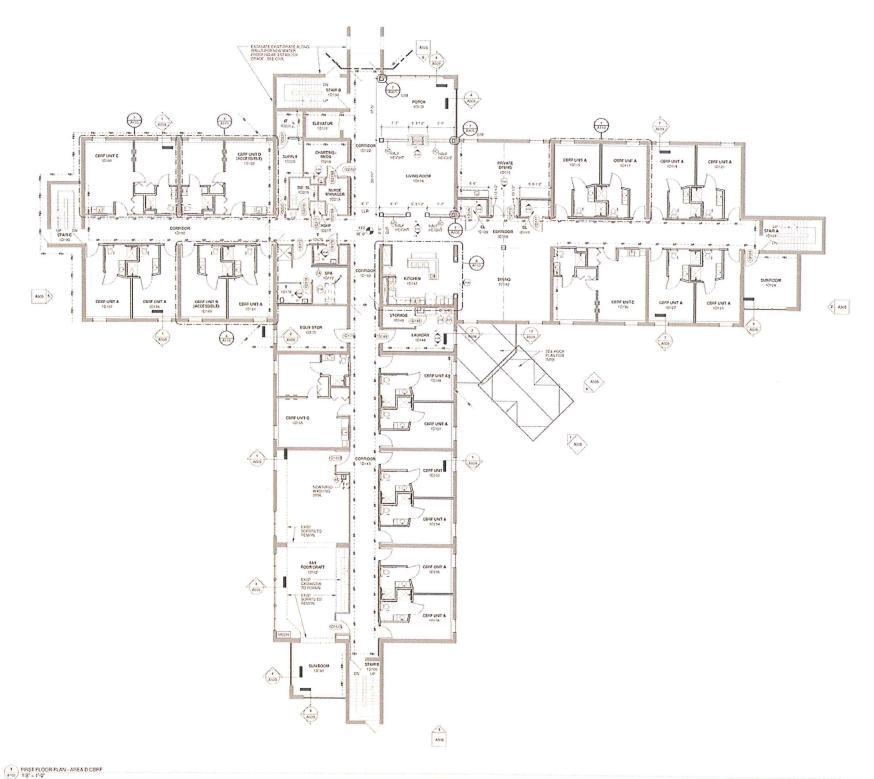
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St. Croix County BID PACKAGE 2 Health Center Additions & Renovation

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BASEMENT FLOOR PLAN - AREA D CBRF

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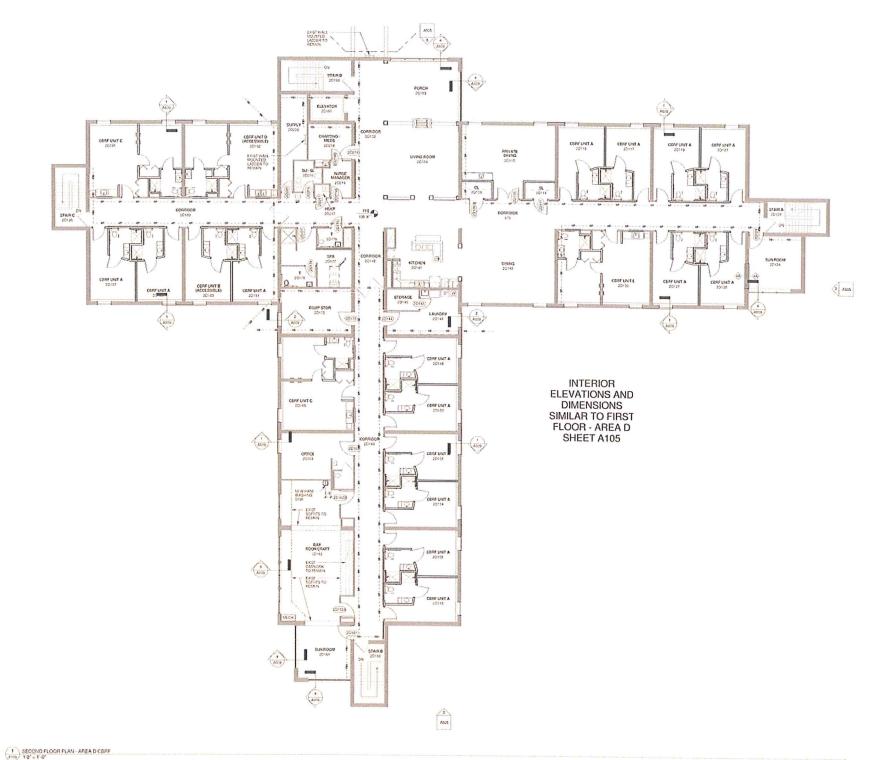
Horry Elving & Associates, Inc. 505 Eart Grant Street, Minneapolis, MN 55404-1490 T 612-332-4422 F 612-344-1282 borryching.com

St. Croix County BID PACKAGE 2

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FIRST FLOOR PLAN - AREA D CBRF

As indicated 521/15 AAAF





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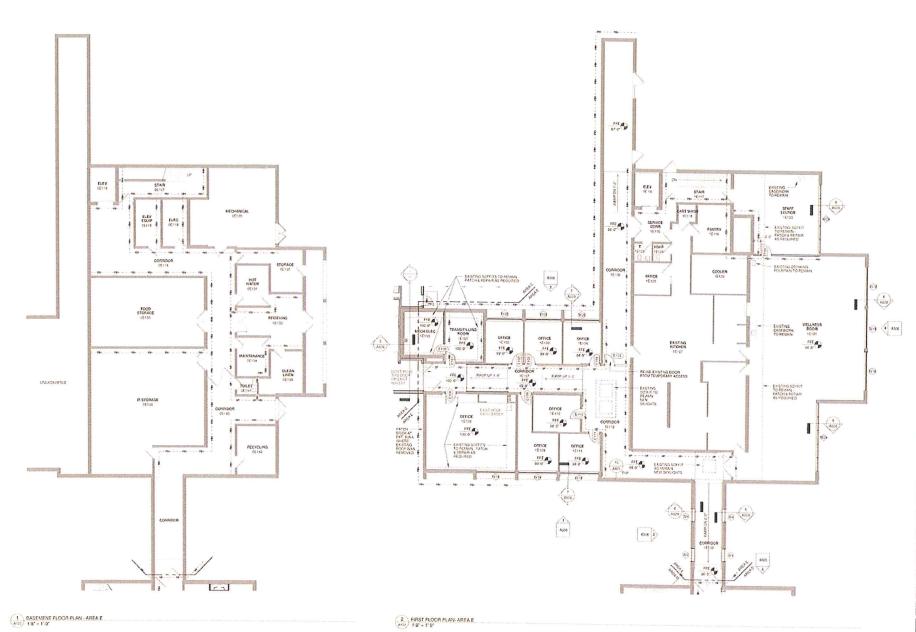
Health Center Additions & Renovation

New Richmond, WI
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GENERAL NOTES:
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B. PEPANT ALL EXISTING PADATORS IN AVEA 55 & C.
12. ALL FURNITURE (SPONNITASSED) BY FIXE OR RESIDENT PROVIDED
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SECOND FLOOR PLAN - AREA D CBRF

As indicated	5/21/15	146039
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St. Croix County BID PACKAGE 2

Health Center Additions & Renovation New Richmond, WI

GENERAL NOTES:

- 1. FAIGHTLOCK ELEVATION FFE) 100 0" 1046 67"
- 2 EXTEROR DIVENSION TO EXTEROR FACE OF SHEXTHINS
- 1 SEE SPECIFICATION FOR TWY AND LOCATION OF EXPROMEDIA
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- 6 STANDARD WALL RESURE YOU TIPE 45 ALL NOW BEARING TO BE FIRST STUDYNGESS SOTED OTHERWISE ALL WITEROW BEARING WALLS TO BE WOOD STUDY.
- F (XX) INDICATED EXUPVENT, SEE EQUIPMENT NOWENAND.
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- F PERSONAL ENSTRUCERDATORS IN APPEAR IS
- NE ALL FURNITURE (SHOWN DASHES) AN ITHE OR RESIDENT PROVIDED

KEY PLAN



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BASEMENT & FIRST FLOOR PLAN-AREA E CORE SERVICES





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St. Croix County
BID PACKAGE 2
Health Center Additions & Renovation
New Richmond, Val

POSSOCIAL PROPERTY.	Familia	Description

ENLARGED PLANS - AREA A, B & C

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